



**Grasvenor Avenue**  
Barnet, EN5 2BZ  
Guide Price £665,000



## Grasvenor Avenue

Barnet, EN5 2BZ

ATTRACTIVE THREE BEDROOM FAMILY HOME located in SOUGHT AFTER LOCATION conveniently placed for the commuter CLOSE TO HIGH BARNET UNDERGROUND.

The accommodation consists; entrance hall, reception through room, BEAUTIFUL KITCHEN/BREAKFAST ROOM with doors leading to SOUTH WESTERLY ASPECT REAR GARDEN & patio area, UTILITY ROOM, GUEST CLOAKROOM, 3 bedrooms and a family bathroom (with underfloor heating).

The residence has the asset of an OUTBUILDING/HOME OFFICE and benefits further from GOOD LOCAL SCHOOLS, SHOPPING FACILITIES, OFF STREET PARKING and BACKS ONTO HIGH BARNET PARK.

EPC : D

BARNET COUNCIL TAX BAND : D

FREEHOLD





## GROUND FLOOR

Hallway

Reception Room

12'9" x 11'11" (3.91 x 3.65)

Guest Cloakroom

7'2" x 4'6" (2.20 x 1.39)

Kitchen/Dining Room

21'3" x 16'9" (6.50 x 5.13)

## FIRST FLOOR

Landing

Bedroom 1

13'0" x 10'10" (3.98 x 3.32)

Bedroom 2

10'10" x 9'8" (3.32 x 2.97)

Bedroom 3

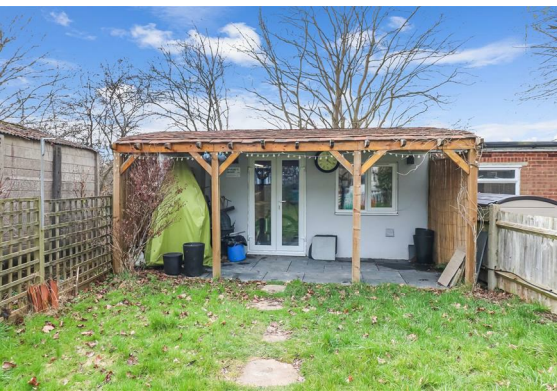
7'5" x 7'5" (2.28 x 2.28)

Family Bathroom

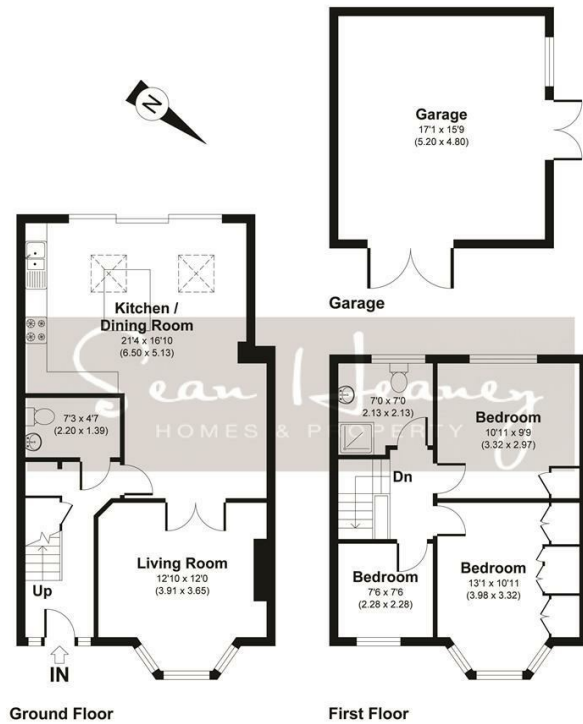
6'11" x 6'11" (2.13 x 2.13)

OUTBUILDING

17'0" x 15'8" (5.20 x 4.80)



## Floor Plan



Grasvenor Avenue, EN5

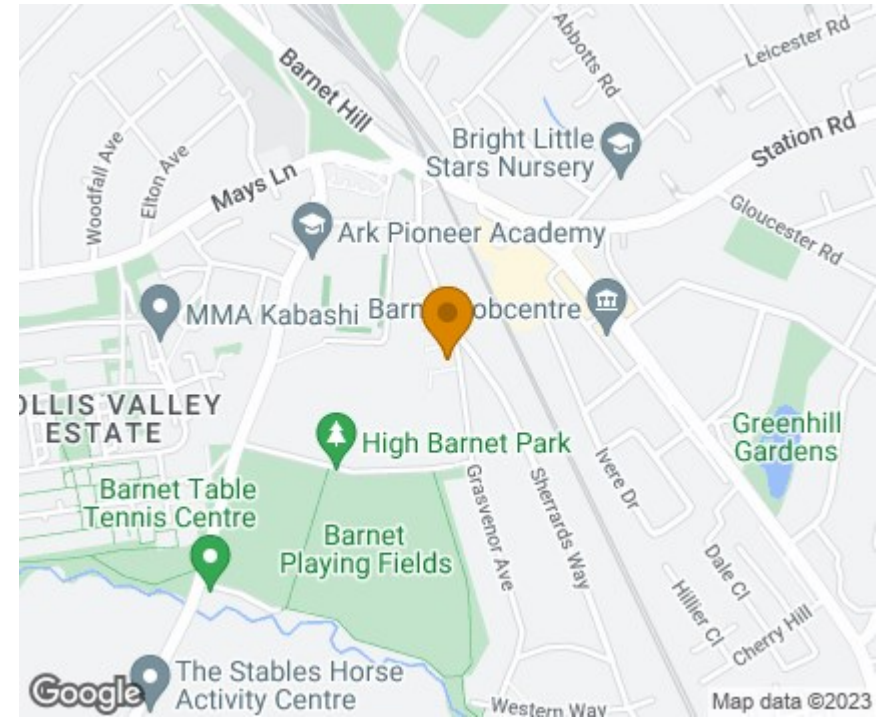
APPROXIMATE GROSS INTERNAL AREA 1246 SQ FT / 115.77 SQ M INC. GARAGE  
SEANHEANEY. THIS IMAGE IS ILLUSTRATIVE ONLY - NOT TO SCALE. COPYRIGHT: THE IMAGE TAILOR LTD. 2023.

## Viewing

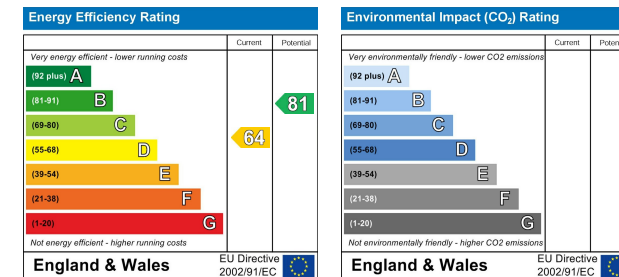
Please contact our Barnet Office on 020 8441 7173 if you wish to arrange a viewing appointment for this property or require further information.

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2. References to the tenure of a property are based on information supplied by the seller. The agent has not had sight of the title documents. A buyer is advised to obtain verification from their Solicitor.
3. Room measurements have been made using a Laser Meter. Complete accuracy cannot be guaranteed and therefore the room sizes given should be regarded as being approximate.
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## Area Map



## Energy Efficiency Graph



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